



BETTER. FASTER. CHEAPER

TurnKey Recovery

Managed Direct Repair Program

INVITATION FOR BID (IFB)

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
GC2022106639-023002-11995	Roof and Exterior Repairs	06/30/2023	4:30 PM CST

Insured Property Owner: Charlotte County Airport Authority

Property Location Name: Tenants - Lessors Building

Address Line 1: 7355 Utilites Road

Address Line 2: Building 304

City: Punta Gorda

State: FL

Zip Code: 33982

DESCRIPTION: Furnish all required labor, materials, and equipment necessary to provide Scope-of-Work at the above-described location. Work is being authorized under the elected FMIT TurnKey Recovery ProgramSM administered by Synergy NDS, Inc. (SynergyNDS) on behalf of the Insured Property Owner, a Member of the Florida Municipal Insurance Trust (FMIT).

SUBMITTAL INSTRUCTIONS: In support of Procurement Guidelines, the IFB Packet includes specifications and terms & conditions associated with the above referenced project information.

1. Bids shall be received no later than the Closing Date & Time indicated above. Bids received after above deadline or that are not submitted in accordance to Submittal Instructions may be rejected without further explanation or contractor notification.
2. Bid shall be completed and submitted via DocuSign by filling out the **Contractor Submittal Form** (see Page 5 of this IFB Packet). Contractor may attach additional supporting documents that may or may not be used in the overall scoring of the IFB Contractor Submittal. Attachments do not change &/or modify any of the IFB Terms & Conditions as outlined in the following pages (Pages 1-10).
3. Contractor IFB Form Submittal MUST INCLUDE all applicable Sales Tax or any other Local, State &/or Federally mandated fee(s) within the aggregated Lump Sum Proposal. Do not breakout separately.
4. Contractor is responsible to validate all Quantities and Units of Measurements specific to the following scope items &/or products. The information and descriptions provided in the IFB are intended for general guidance purposes only. Contractor may not change or alter any material &/or specifications identified in the IFB for submission purposes without prior written/email notification to: bids@synergynnds.com.
5. Contractor has the sole responsibility to ensure that all services and material for BID Submittal (whether stated correctly in the IFB or not) satisfactorily meet all required Codes & Standards, OSHA Guidelines and The Americans with Disabilities Act (ADA).
6. Contractor should also consider the approach (if necessary) in which to stock/store material at the jobsite in a safe and secure manner. SynergyNDS will not be responsible for lost or stolen material, supplies or equipment stocked at the jobsite.
7. Bid award will be made based on best overall LUMP SUM project value as determined by SynergyNDS in accordance to market valuation, project demands, critical path scheduling – as well as overall Insured Member's WorkForce Participation Goals. Contributing factors, in addition to price, may be considered as necessary to help determine bid award based on any additional criteria set forth by the specific FMIT Insured Member.

8. SynergyNDS reserves the right to modify the IFB Specifications and Terms & Conditions at any time during the bid solicitation process. Timely notice to all bidders will be given via an electronically distributed Addendum.
9. All registered HUB & HUB Zone Contractors, as well as DBEs are encouraged to participate. Additional Contractor Financial Assistance is available to help support daily HUB/DBE Contractor's operations under the terms and condition of a successful contract award.
10. SynergyNDS is an equal opportunity employer and administers all Contracts & Contractor Agreements in accordance to the requirements of 41 CFR §§ 60-1.4(a), 60-300.5(a) and 60-741.5(a).
11. Contractor is strongly encouraged to schedule a Site Visit of the property as necessary to support the IFB Submittal. All scheduled site visits can be requested at bids@synergynnds.com.
12. When a mandatory Pre-BID Meeting is identified and scheduled in a specific IFB, Contractor Attendance is a requirement as part of the Solicitation. Contractors who fail to attend the Pre-BID Meeting will not be eligible to participate in the IFB and subsequent submittal process.
13. Contractor can submit all questions &/or concerns specific to the IFB by email to: bids@synergynnds.com.

SCOPE-OF-WORK SUMMARY

Refer to **EXHIBIT A** for scope-of-work description.

Yes | No

- | | |
|--|---|
| <input type="checkbox"/> <input checked="" type="checkbox"/> | This IFB is part of a publicly advertised solicitation |
| <input type="checkbox"/> <input checked="" type="checkbox"/> | This IFB is part of a potential Federally Funded Project. |
| <input checked="" type="checkbox"/> <input type="checkbox"/> | This IFB is being distributed externally |
| <input checked="" type="checkbox"/> <input type="checkbox"/> | This IFB requires a Contractor Payment or Performance Bond. |
| <input checked="" type="checkbox"/> <input type="checkbox"/> | This IFB requires a Pre-BID Meeting |
| <input type="checkbox"/> <input checked="" type="checkbox"/> | This IFB supports workforce participation goals. |

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IFB EXHIBIT A Scope-of-Work

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
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Insured Property Owner: Charlotte County Airport Authority

Property Location Name: Tenants - Lessors Building

Address Line 1: 7355 Utilites Road

Address Line 2: Building 304

City: Punta Gorda

State: FL

Zip Code: 33982

GENERAL SCOPE DESCRIPTION

Roof and exterior cladding repairs and painting.

GENERAL SCOPE-OF-WORK DISCUSSION

Roof repairs as follows (see attached engineering documentation for specifications and details):

- Remove and replace all purlins and angled braces
- Remove and replace damaged eave struts as identified in engineering report
- Remove and replace existing 24ga roof panels with mechanically seamed 24ga Galvalume trapezoidal standing seam roof panels
- Remove and replace end wall rafter. Remove and replace batt insulation
- Remove and replace all roof flashing. Remove and replace all gutters, all downspouts, rake, and high side eave
- Remove and replace all soffit and mansard panels on front canopy. Replace soffit with solid unvented material to prevent airflow through soffit
- Secure required permits through the county. Provide dumpsters for all job related debris

Exterior repairs as follows (see attached engineering documentation for specifications and details):

- Remove and replace all wall panels and related trim on south side of building with new 24ga PBR panels in a Light Stone color
- Remove and replace 8 wall vents currently in place on south side of building
- All existing doors to remain. install new door locksets (4) on exterior metal doors
- Paint exterior metal doors
- Paint exterior metal roll up doors (4)
- Repair stucco on north side of building
- Paint stucco on north side of building
- Prep and paint all (3) sides of the building with metal panels

**Information should match scope-of-work description as described in SimpliCitySM.*

ADDITIONAL NOTES &/OR REQUIREMENTS

Awarded contractor shall keep the job site clean and free from potential physical hazards to the workers, employees and general public.

DRAWING & SPECIFICATION DESCRIPTION

Rimkus - Tenant and Lessors - Preliminary Drawings, Supplemental Engineering Report and As-Built Floor Plan

Document #1 Rimkus - Tenant and Lessors - Preliminary Drawings and Supplemental Eng. Report

Document #2 As-Built Floor Plan

ADDITIONAL CONTRACTOR EXPECTATIONS

A payment and performance bond is required for this project and shall be obtained prior to awarding the contract.

**Contractor should understand overall expectations as further detailed in the attached TurnKey RecoverySM Contractor Expectation Document in support of accounting for a responsible IFB Submittal.*

GENERAL WORKDAY &/OR JOBSITE CONSIDERATIONS

Awarded contractor shall keep the job site clean and free from potential physical hazards to the workers, employees and general public.

All applicable OSHA safety requirements shall be implemented and enforced.

- **Occupant Workday:** ☒ Standard (M-F/8-5pm) ☐ Wknd/After Hours ☐ Other _____
- **Building/Site Occupancy:** ☐ Occupied ☒ Vacant ☐ Partial
- **Site Access:** ☒ Open ☐ Restricted (Gated/Security)
- **Parking/Laydown Area:** ☒ Open/Available ☐ Restricted ☐ Limited
- **Restroom Facilities:** ☐ Fixed/Indoor ☒ Portalets ☐ Not Available
- **Waste/Debris Containers:** ☐ Provided/Onsite ☒ Include in BID

Email all IFB Questions to Bids@synergynds.com



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TurnKey Recovery
 Managed Direct Repair Program

IFB – CONTRACTOR SUBMITTAL FORM

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
GC2022106639-023002-11995	Roof and Exterior Repairs	06/30/2023	4:30 PM CST

Company Name: _____

Address Line 1: _____

Address Line 2: _____

City: _____

State: _____

Zip Code: _____

Contractor Certification: ☐ DBE ☐ WBE/WOSB ☐ HUB ☐ SDVOSB/VOSB

CONTRACTOR LUMP SUM PROPOSAL:

IFB TITLE		PROPOSAL:	\$
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CONTRACTOR NOTES:**MATERIAL DEPOSIT:** ☐ Required ☐ Requested \$

I understand that all applicable Sales Tax or any other Local, State &/or Federally mandated fee(s) are to be included within the aggregated Lump Sum Proposal. Do not breakout separately. Contractor may attach additional supporting documents that may or may not be used in the overall scoring of the IFB Contractor Submittal. Attachments do not change &/or modify any of the Terms & Conditions as outlined in the IFB, Scope-of-Work (Exhibit A) and the Turnkey RecoverySM Contractor Expectations.

I, having the legal authorization to represent the “Company” (the undersigned) have read and understood the IFB, its Scope-of-Work and the Turnkey RecoverySM Contractor Expectations in accordance with the Terms & Conditions:

Company Contact Name (Please Print)

Company Title (Please Print)

Signature

Date



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TurnKey Recovery

Managed Direct Repair Program

TURNKEY RECOVERYSM PROGRAM Overview & General Contractor Expectations

PROGRAM OVERVIEW

Synergy NDS, Inc. (SynergyNDS) and Florida Municipal Insurance Trust (FMIT) have partnered in support of the critical needs of FMIT's 360+ Public Entities since 2004, representing over \$11 Billion of insured assets. SynergyNDS has the proven capacity and resources necessary to assist Florida Municipalities with disaster planning, preparation, response & recovery.

FMIT Turnkey RecoverySM (Turnkey RecoverySM) is exclusive to Members who insure their fixed real property with FMIT and the insurance coverages offered under their Property Policy. Administered by SynergyNDS, Turnkey RecoverySM supports individual Member's response & recovery directives using a more transparent approach to Project Management throughout the lifecycle of the restoration/repair project. More importantly, Turnkey RecoverySM supports contractors by reducing the "red-tape" and exposure often associated with public entity projects by streamlining the contracting and payment process. All approved Work Authorizations and Invitations for Bid (IFB) Contract Awards with eligible upfront material deposits and progress payments are paid directly by SynergyNDS to applicable contractors within defined terms/conditions. Contractors within Turnkey RecoverySM can be those identified by the Member's own procurement process, as well as those participating in the qualified Managed Vendor Program (MVPSM).

GENERAL CONTRACTOR EXPECTATIONS

Information contained throughout this document supports Turnkey RecoverySM expectations/requirements for a specified Work Authorization, or as necessary for subcontractor to provide a responsible IFB Response submittal. Where any conflicts arise from language outlined in this document in support of a specific Work Authorization or IFB Contract Award (which is inclusive of and incorporated into the Contractor's IFB Response submittal), the General Services Agreement between Contractor and SynergyNDS, or the IFB Contract Award becomes the guiding and controlling form.

1. Contractor shall be responsible for field verification of all conditions, dimensions & quantities associated with work prior to Work Authorization or Contractor IFB Response Submittal. Any Exhibits, Plans, Drawings &/or Other Supporting Documents that may be provided by SynergyNDS to Contractor are for general reference purposes only.
2. Contractor is responsible for identifying and satisfactorily addressing all applicable regulatory requirements, including but not limited to Codes & Standards, HUD/DBE Participation Goals & Guidelines and ADA/FHA Specifications.
3. Contractor shall indicate in writing and submit to SynergyNDS via email distribution to projects@synergynnds.com any request or need for additional 3rd Party Assignment as necessary to

further identify required codes & standards, scope specifications or public health safety concerns outside of Contractor's professional competence &/or licenses.

4. Contractor is to obtain their own permits and schedule all applicable inspections. Permits can be obtained by contacting the Building Department or other administering entity. Permit Fees are reimbursable directly from SynergyNDS (in addition to contractor's Lump Sum Proposal) if incurred and submitted with proper documentation.
5. Contractor shall prohibit discrimination against staff &/or available workforce based on their status as protected veterans or individuals with disabilities and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that Contractor and its subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, protected veteran status or disability.
6. Contractor is required to be familiar with and follow all OSHA and State of Florida safety requirements, including OSHA form 300 Logs reporting requirements, if applicable.
7. Contractor shall independently implement a site-specific health and safety plan for each project to include hazard communication and related OSHA requirements to protect workers, building occupants, and the public who has access to the work area.
8. Prior to beginning work each day, Contractor is to independently hold jobsite safety meetings that review the work to be performed, the hazards involved with the work, and the acceptable methods for reducing and eliminating such hazards. Contractor shall maintain appropriate meeting records, including a Job Safety Analysis (JSA), or similar, that includes information from the daily jobsite safety meeting, including an attendee list, which shall be maintained by Contractor and available for SynergyNDS review at all times. Contractor shall be solely liable for any and all unsafe acts and/or safety violations associated with their employees.
9. Contractor shall require all employees to be familiar with job-specific hazard mitigation when performing the work, including but not limited to: slip, trip & fall protection, eye and ear protection, hand and foot protection, head protection, fire protection & prevention, confined space protection, employee thermal stress protection, etc.
10. Contractor is responsible for supplying and educating all on-site employees in the proper use of Personal Protective Equipment (PPE), including but not limited to: hard hat(s), safety glasses, face shields, ear plugs, gloves, boots, fall protection (where required), breathing protection (where required), tie off ropes/apparatuses/points (where required), fire extinguishers, first aid kits, etc.
11. Contractor is required to have the appropriate Material Safety Data Sheets (MSDS), and be able to provide to the Industrial Hygienist of record (for the project) for any products used during the performance of their work for which an MSDS is required, including, but not limited to, glues, cleaners, paints, solvents, anti-microbial products, sanitizing agents, etc. The Industrial Hygienist of record retains the right to restrict the use of any of the products selected for use on the project.
12. Contractor shall be responsible under terms of the Agreement for supplying all necessary labor, equipment, tools, materials and travel expense to complete the scope of work unless directed otherwise in the Work Authorization or IFB Contract Award. This includes, but is not limited to: Rental Equipment, Dumpsters, Storage Containers, Jobsite Trailer, General Conditions, Associated

Expenses, Travel Cost and Overhead & Profit which are to be included in the Work Authorization and/or IFB Contract Award.

13. Contractor shall protect all property from damage during the performance of work. This includes, but is not necessarily limited to: wall finishes, floor finishes, windows, electrical systems, mechanical systems, communication systems, life safety systems, security systems, HVAC control systems, plumbing systems, lighting systems, structurally related components, exterior elements, vegetation, property-of-others, etc.
14. Contractor shall be responsible for repair, replacement &/or cleaning of property damaged by employees, as well as any debris, coatings, coverings, overspray, or caulking residue located on any 3rd party property due to actions of Contractor employees. If affected property cannot be successfully cleaned &/or restored to pre-existing condition, SynergyNDS will seek reimbursement from Contractor &/or deduct the appropriate replacement cost from outstanding Invoice Payment (Contract Value).
15. Contractor shall be responsible for securing work area(s) from access by non-authorized building occupants, including all persons not directly part of the restoration, repair and/or rebuild efforts. This includes securing work area(s) as identified in the Work Authorization, IFB Scope-of-Work &/or under Contractor's control.
16. If the Contractor determines that deviations or modifications (change order or supplemental costs) from the initial Work Authorization or IFB Contract Award are required, Contractor shall submit a written request to SynergyNDS for review and approval prior to start of any additional work not otherwise included in initial Work Authorization or IFB Contract Award. The written request will contain, at a minimum:
 - a. Reason for deviation or modification
 - b. Description of deviation or modification
 - c. Project cost addition or subtraction for deviation or modification
 - d. Estimated time required for deviation or modification.
17. Contractor is NOT responsible for any conditions or activities implemented prior to their performance of work and/or arrival to the job site. During the performance of Contractor's work, if pre-existing damage to the building, structure, system failures or other anomalies is found, Contractor has the responsibility to identify, document and report these deficiencies immediately to SynergyNDS by email notification to projects@synergynnds.com. Verbal notification &/or discussion with the onsite Project Manager is encouraged, but not required. Written documentation approved by SynergyNDS must be provided to ensure that pre-existing damages are not the responsibility of the Contractor and to maintain transparency with work performance.
18. Contractor represents that it has adequate and sufficient equipment in good working order and fully trained, licensed personnel capable of safely and efficiently operating such equipment and performing and/or providing (a) restoration &/or repair services work, including, but not limited to labor, supervision, tools, equipment, vehicles, transportation and machinery specific to Work Authorization/IFB Invitation and/or (b) materials, goods, supplies, or other products.
19. Contractor services and scope-of-work will be performed and provided in a good and workmanlike manner with strict adherence to general industry customs and specifications, completed in a safe

manner, and in accordance with all legally required and/or accepted codes and standards. The Services will follow customs and practices of workmanship within Contractor's trade, profession, craft or line of work.

20. Contractor is responsible for submitting all applicable project/contracting documents and progress updates in support of scope-of-work and invoicing to include, but not necessarily limited to any: Architectural Drawings, Work Scope Breakout & Description, Engineering or 3rd Party Reports, Certificates of Insurance, Change Order Requests, Warranty Info/Certificates or any written documentation with SynergyNDS that would otherwise change &/or modify the Work Authorization or IFB Contract.
21. Contractor agrees to provide a workmanship warranty, with a 12-month period of correction from the date that work performed by the Contractor is completed. Contractor will be responsible for remedying any patent or latent defects related to their work performance in accordance with the rules prescribed under Florida Construction Law. For patent defects, SynergyNDS will notify Contractor verbally, or in writing, and Contractor will make a best effort to remedy to the satisfaction of SynergyNDS within 1-5 business days. For latent defects, SynergyNDS will notify Contractor in writing and allow Contractor up to 10 business days to review the defect. SynergyNDS and Contractor will then develop a remediation plan to resolve the latent defect to the satisfaction of SynergyNDS.

PAYMENT: Project is managed by SynergyNDS under the FMIT Turnkey RecoverySM Program. Payments will be made by SynergyNDS directly to the Contractor in accordance with terms & conditions described in the Work Authorization or IFB Contract Award. Qualified contractors may be eligible for an upfront material deposit or progress payments as determined prior to work performance. **Contractor must be registered in the MVP (Managed Vendor Program) whereby required contractor documents must be uploaded to the database. There is annual \$49.95 processing and maintenance fee as part of the initial contractor vetting and background check.**

PAYMENT TERMS: Payments will be made after inspection and approval of work by SynergyNDS, FMIT Member Building Official &/or FMIT Desk Adjuster. Accurate invoices and required project documentation must be submitted to SynergyNDS for project review and/or audit prior to payment. Contractor will provide all applicable product warranty documentation or certification prior to release of final payment. *Material Deposits &/or Advanced Payments require Contractor to complete online registration in the Managed Vendor Program (MVP).

INSURANCE & LICENSING SUMMARY: Before starting work, the Contractor will provide SynergyNDS at minimum, proof of Worker's Compensation and General Liability Insurance. The Contractor must be licensed to do business in the State of Florida, as well as hold whatever specific trade licenses to perform and/or oversee such work in the State of Florida. In some cases, Professional Liability insurance will also be required. SynergyNDS must be named as an additional insured on all liability insurance certificates. Contractor will need to go to www.synergynnds.com/MVP and complete the initial registration for the Managed Vendor Program (MVP).

The certificate holder(s) must be noted as:

Synergy NDS, Inc.
1400 Sarno Rd, Melbourne, FL 32935

INSURANCE & LICENSING REQUIREMENTS: Contractor will be required to upload in the MVP Contractor Profile the following information (when applicable) prior to contract award and eligible material deposits.

- a) Workers Compensation Insurance Certificate for all employees engaged in work at the site, in accordance with State or Territorial Worker's Compensation Laws.
- b) General Liability Insurance Certificate with bodily injury and property damage limits at a combined single limit of at least \$500,000 in order to protect the contractor and SynergyNDS against claims for injury or death of one or more persons.
- c) Automobile Liability Certificate on owned and non-owned motor vehicles used on the site(s), or in connection with the sites, for a combined single limit for bodily injury and property damages of not less than \$500,000.00 per occurrence.
- d) Professional Liability Certificate with \$1,000,000 per occurrence (if applicable).

Contractor will not allow any required insurance coverage to lapse, and will provide SynergyNDS with updated Certificates of Insurance, as necessary. All policies must provide at least thirty (30) days' notice of cancellation will be given to SynergyNDS. All Contractor employees &/or subcontractors are bound by the Insurance Requirement. **Contractor is the sole responsible party for all its Employee &/or Subcontractor infractions, accidents, damages, and all general and professional liability concerns that occur, whether directly or indirectly, as related to Work performed by Contractor or subcontractors under the control of Contractor.**

CONTRACT IMPLEMENTATION: Work Authorization or IFB Contract Award will be initiated upon review and comparative analysis of all bids &/or proposals received by SynergyNDS, and in some cases the FMIT Member, in accordance with a defined Procurement Process. Notification of Intent-to-Contract with Contractor will be engaged upon written notification by SynergyNDS and contractor signed/returned General Services Agreement Form. Contract-in-Full will be awarded upon receipt by SynergyNDS of all required contracting documentation, including but not limited to:

- a) Performance Bond &/or Payment Bond (when required)
- b) Certificate of General Liability Insurance
- c) Certificate of Auto Insurance
- d) Certificate of Worker's Compensation or Letter of Exemption
- e) Contractor's W-9
- f) State License Documentation

Further description of insurance requirements is listed in the General Services Agreement. No material deposits &/or payments will be made to Contractor until all required documentation has been received.

STRUCTURAL NOTES

LIGHT GAGE STEEL FRAMING

1. THE FOLLOWING DOCUMENTS FORM A PART OF THESE NOTES TO THE EXTENT INDICATED.

A. SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AMERICAN IRON AND STEEL INSTITUTE (AISI).

B. SPECIFICATIONS FOR METAL LATHING AND FURRING, METAL LATH/STEEL FRAMING ASSOCIATION.
2. PERFORMANCE REQUIREMENTS: AISI SPECIFICATIONS AND STANDARDS: UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED, COMPLY WITH AISI S100, AISI S200 AISI S230 AND AWS D1.3.
3. ACCEPTABLE MANUFACTURERS:

A. CEMCO; CALIFORNIA EXPANDED METAL PRODUCTS CO.

B. CONSOLIDATED FABRICATORS CORP.; BUILDING PRODUCTS DIVISION.

C. DESIGN SHAPES IN STEEL.

D. FORMETAL CO. INC.
4. MATERIALS

A. STEEL PURLINS: Z-SHAPED, WITH FLANGE WIDTH OF NOT LESS THAN 2.5 INCHES, MINIMUM UNCOATED STEEL THICKNESS OF 0.0566 INCH AND OF DEPTHS INDICATED.
5. ACCESSORIES

A. FABRICATE FROM THE SAME MATERIAL AND FINISH USED FOR FRAMING MEMBERS, OF MANUFACTURER'S STANDARD THICKNESS AND CONFIGURATION, UNLESS OTHERWISE INDICATED.

B. EXPANSION ANCHORS: FABRICATED FROM CORROSION-RESISTANT MATERIALS, WITH ALLOWABLE LOAD OR STRENGTH DESIGN CAPACITIES, CALCULATED ACCORDING TO ICC-ES AC193 AND ACI 318, GREATER THAN OR EQUAL TO THE DESIGN LOAD, AS DETERMINED BY TESTING ACCORDING TO ASTM E 488 CONDUCTED BY A QUALIFIED TESTING AGENCY.

C. MECHANICAL FASTENERS: ASTM C 1513, SELF-DRILLING, SELF-TAPPING, STEEL DRILL SCREWS, WITH CORROSION-RESISTANT COATING.

D. GALVANIZING REPAIR PAINT: ASTM A 780.
6. EXECUTION

A. INSTALL FRAMING AND ACCESSORIES LEVEL, PLUMB, SQUARE, AND TRUE TO LINE, AND SECURELY FASTENED, ACCORDING TO AISI S200 AND TO MANUFACTURER'S WRITTEN INSTRUCTIONS UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.

B. CUT FRAMING MEMBERS BY SAWING OR SHEARING; DO NOT TORCH CUT. FASTEN FRAMING MEMBERS BY WELDING OR SCREW FASTENING.

C. INSTALL TEMPORARY BRACING AND SUPPORTS TO SECURE FRAMING AND SUPPORT LOADS. MAINTAIN BRACES AND SUPPORTS IN PLACE UNTIL SUPPORTING STRUCTURE HAS BEEN COMPLETED AND PERMANENT CONNECTIONS ARE SECURED.

D. FASTEN HOLE-REINFORCING PLATE OVER WEB PENETRATIONS THAT EXCEED SIZE OF MANUFACTURER'S APPROVED OR STANDARD PUNCHED OPENINGS.

E. ERECTION TOLERANCES: INSTALL COLD-FORMED METAL FRAMING WITH A MAXIMUM VARIATION OF 1/8 INCH IN 10 FEET AND WITH INDIVIDUAL FRAMING MEMBERS NO MORE THAN PLUS OR MINUS 1/8 INCH FROM PLAN LOCATION. CUMULATIVE ERROR SHALL NOT EXCEED MINIMUM FASTENING REQUIREMENTS OF SHEATHING OR OTHER FINISHING MATERIALS.

F. INSTALL MISCELLANEOUS FRAMING AND CONNECTIONS TO PROVIDE A COMPLETE AND STABLE WALL-FRAMING SYSTEM.

G. JOISTS: INSTALL AND SECURELY ANCHOR PERIMETER JOIST TRACK SIZED TO MATCH JOISTS. INSTALL JOISTS BEARING ON SUPPORTING FRAMING, BRACE AND REINFORCE, AND FASTEN TO BOTH FLANGES OF JOIST TRACK.

H. INSTALL BRIDGING AND FASTEN BRIDGING AT EACH JOIST INTERSECTION.

I. INSTALL MISCELLANEOUS JOIST FRAMING AND CONNECTIONS, INCLUDING WEB STIFFENERS, CLOSURE PIECES, CLIP ANGLES, CONTINUOUS ANGLES, HOLD-DOWN ANGLES, ANCHORS, AND FASTENERS.

MISCELLANEOUS STRUCTURAL STEEL ITEMS

1. ANCHOR BOLTS AND RODS SHALL BE IN ACCORDANCE WITH ASTM F1554, GRADE 36.
2. PROVIDE WASHERS UNDER ALL NUT AND BOLT HEADS. NUTS SHALL BE IN ACCORDANCE WITH ASTM A563, HEAVY-HEX CARBON STEEL. WASHERS SHALL BE IN ACCORDANCE WITH ASTM F436, TYPE 1, HARDENED CARBON STEEL.
3. STRUCTURAL STEEL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO LATEST EDITIONS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE FOR BUILDNGS AND BRIDGES".
4. PRIME STRUCTURAL STEEL WITH FABRICATOR'S STANDARD LEAD- AND CHROMATE-FREE, NON-ASPHALTIC, RUST-INHIBITING PRIMER COMPLYING WITH MPI#79 AND COMPATIBLE WITH TOPCOAT.
5. SURFACE PREP FOR SHOP PRIMING SHALL BE IN ACCORDANCE WITH SSPC-SP2 OR SSPC-SP3. SHOP PRIME STEEL TO A DRY FILM THINCKNESS OF AT LEAST 1.5 MILS. DO NOT PRIME SURFACES TO BE EMBEDDED IN CONCRETE OR MORTAR OR TO BE FIELD WELDED.
6. DO NOT USE THERMAL CUTTING DURING FIELD ERECTION AND INSTALLATION.



1 WIND PRESSURE DIAGRAM
SCALE: 1/8"=1'-0"

7-16 ASCE CHAPTER 30.4-1 COMPONENTS AND CLADDING		
	POSITIVE	NEGATIVE
ZONE 1 =	20 PSF	79 PSF
ZONE 1' =	20 PSF	141 PSF
ZONE 2 =	20 PSF	45 PSF
ZONE 3 =	20 PSF	103 PSF

NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.	.	.
2.		
3.		
4.		
5.		
6.		
7.		

1900 S. Harbor City Blvd, Suite 228
Melbourne, FL 32901
EXPERT@RIMKUS.COM
(800) 580-3228 | (321) 360-5611

SEAL:

PRELIMINARY

NOT FOR CONSTRUCTION

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	.	.
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:

STRUCTURAL REPAIR FOR
CHARLOTTE COUNTY
AIRPORT AUTHORITY
7355 Utilities Road
Punta Gorda, FL 33982

CLIENT:

FLORIDA LEAGUE OF CITIES
P.O. BOX 538135
ORLANDO, FL 32853

SHEET TITLE:

STRUCTURAL NOTES

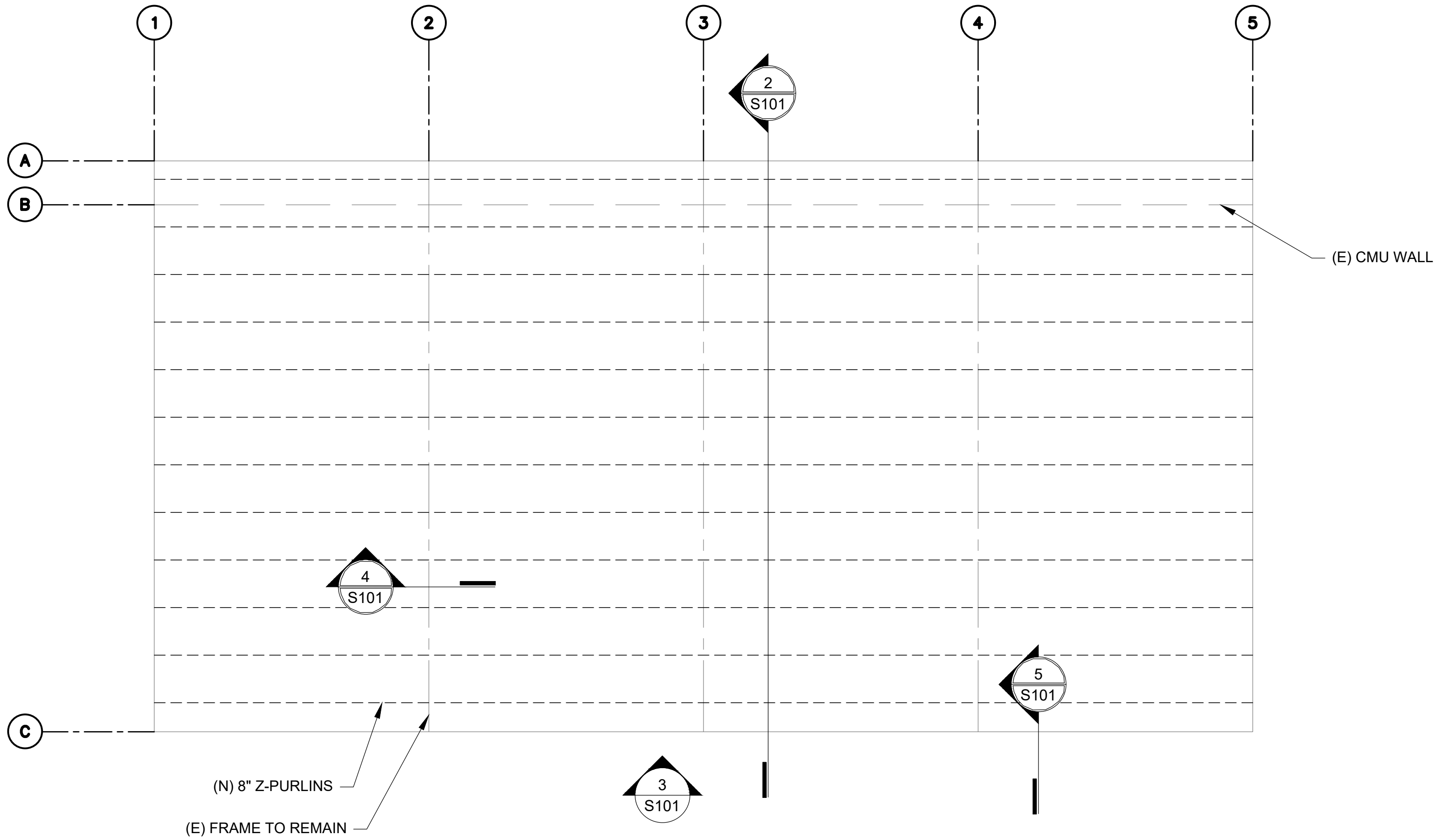
FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100188158
DATE (Y-M-D):	2023-06-13
SCALE:	AS SHOWN
DESIGNED BY:	CAW
DRAWN BY:	RIMKUS
CHECKED BY:	DH

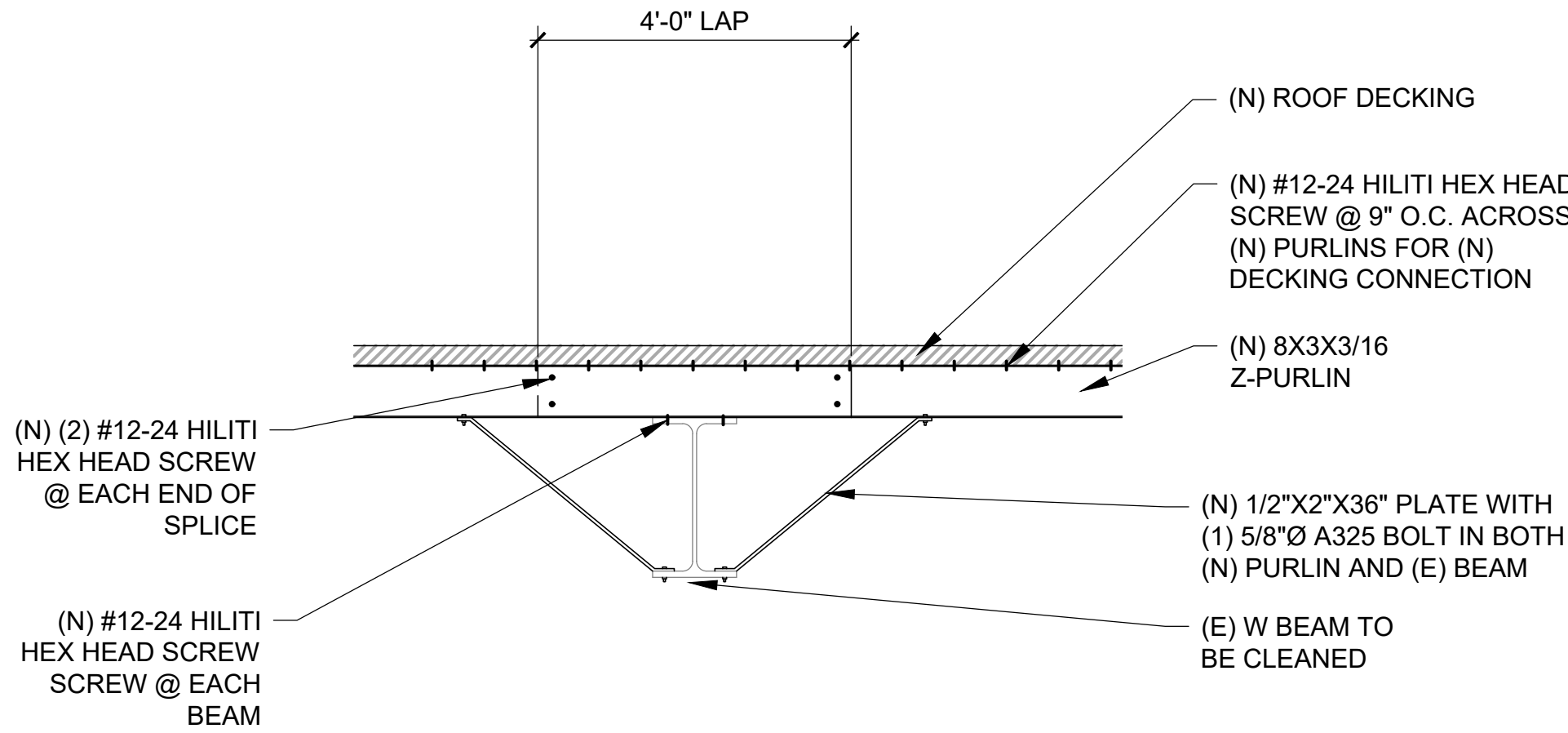
DRAWING NO:

S001

SHEET NO:2 OF 3

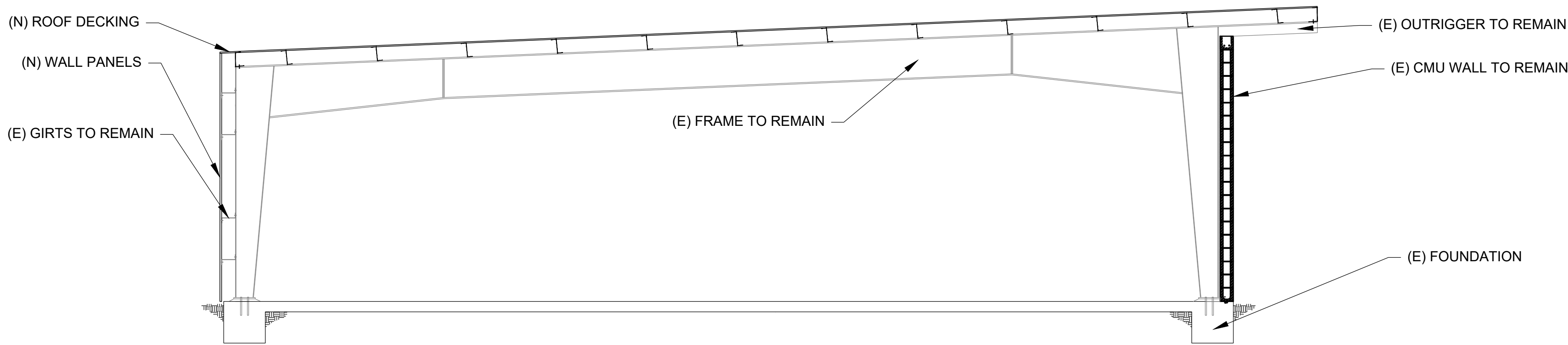


1 FRAMING PLAN
SCALE: 1/8"=1'-0"

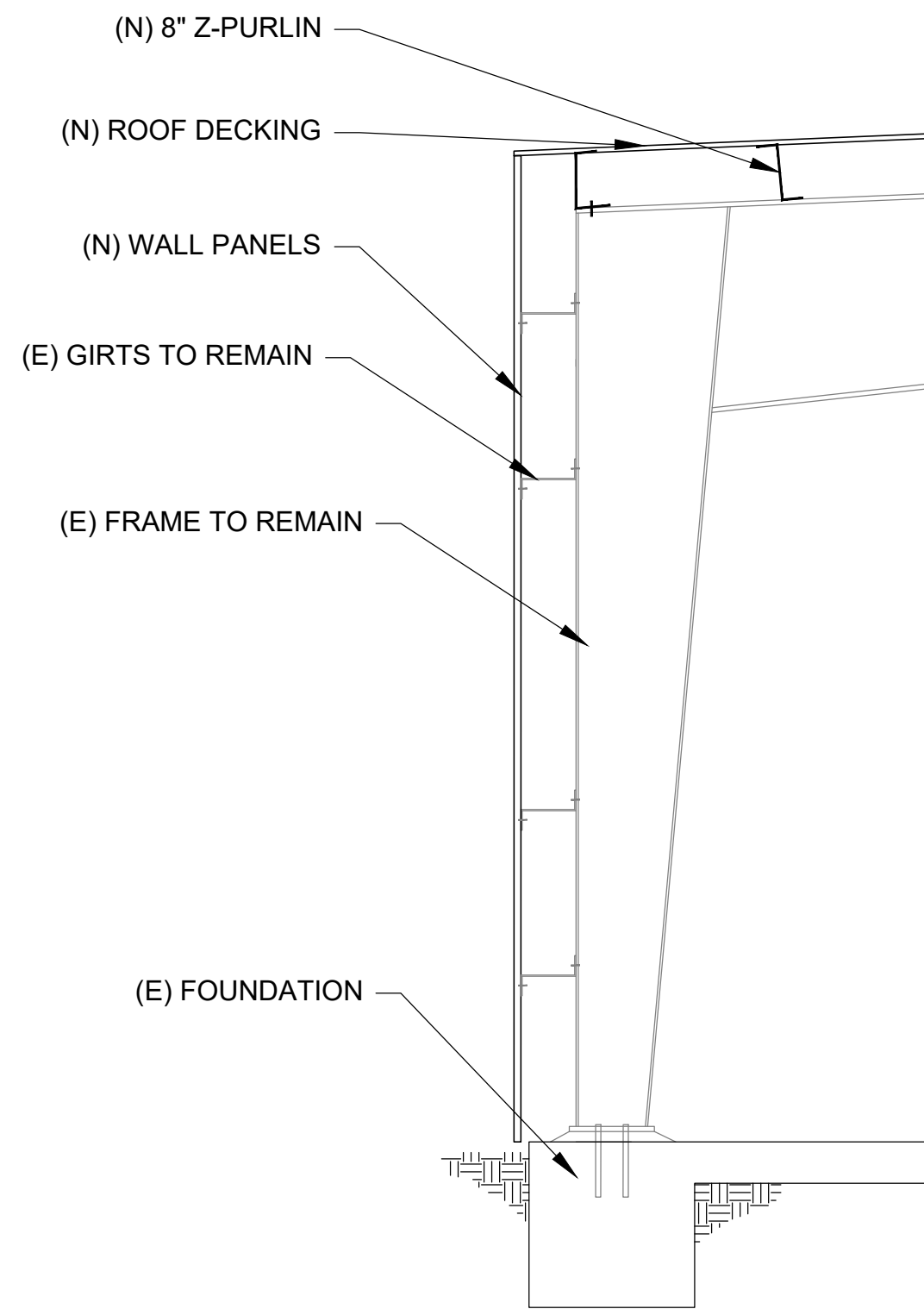


4 ROOF FRAMING SECTION
SCALE: 1/2"=1'-0"

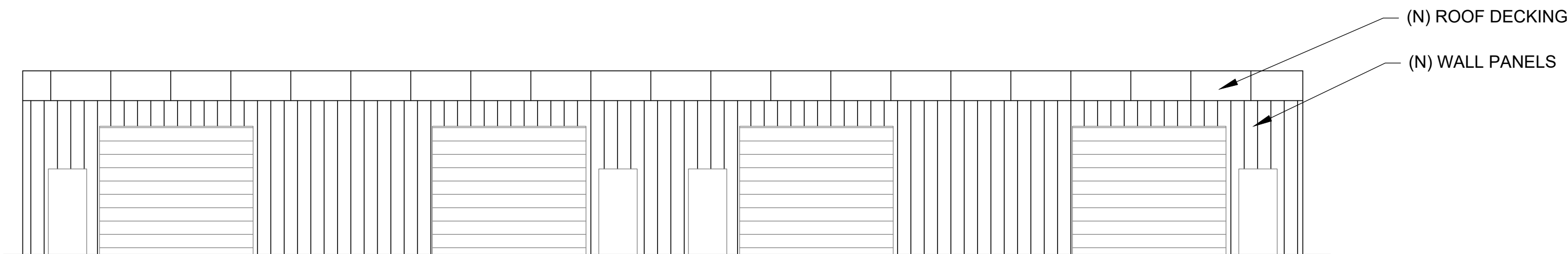
- NOTE:
1. DECKING SHALL HAVE A LOADING CAPACITY OF 180 PLF AT 6'-0" SINGLE SPAN WITH A DEFLECTION LIMIT OF L/180.
 2. REMOVE AND REPLACE BATT INSULATION IN BETWEEN (E) PURLINS AND (N/E) ROOF DECKING.



2 SECTION VIEW
SCALE: 1/4"=1'-0"



5 WALL SECTION
SCALE: 1/2"=1'-0"



3 SOUTHWEST ELEVATION
SCALE: 1/8"=1'-0"

NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS

1900 S. Harbor City Blvd, Suite 228
Melbourne, FL 32901
EXPERT@RIMKUS.COM
(800) 580-3228 | (321) 360-5611

SEAL:

PRELIMINARY
NOT FOR CONSTRUCTION

NO.	ISSUED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
**STRUCTURAL REPAIR FOR
CHARLOTTE COUNTY
AIRPORT AUTHORITY**
7355 Utilities Road
Punta Gorda, FL 33982

CLIENT:
FLORIDA LEAGUE OF CITIES
P.O. BOX 538135
ORLANDO, FL 32853

SHEET TITLE:
STRUCTURAL PLAN

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT
AND LIMITED TO APPLICABLE PROJECT. NO
MODIFICATIONS OR REPRODUCTIONS WITHOUT
WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY
RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100188158
DATE (Y-M-D):	2023-06-13
SCALE:	AS SHOWN
DESIGNED BY:	CAW
DRAWN BY:	RIMKUS
CHECKED BY:	DH

DRAWING NO:
S101

SHEET NO: 3 OF 3



8010 Woodland Center Boulevard, Suite 1200

Tampa, FL 33614

(813) 289-3060

Registry No. 8301

April 7, 2023

Mr. Forest Scott
Florida League of Cities
P.O. Box 538135
Orlando, FL 32853

Re: Insured: City of Punta Gorda - Tenant Space
Claim Number: GC2022106639, Asset No. 023-002
Rimkus Matter No: 100188158
Subject: Supplemental Report of Findings

Dear Mr. Scott:

Rimkus was retained to provide a structural and roof assessment for the Tenant Space building (Asset Number 023-002) located at 7355 Utilities Road in Punta Gorda, Florida. This was in response to the storm event, Hurricane Ian.

The primary purpose of this assessment report was to identify structural and roof damage or potentially dangerous conditions that could affect mitigation workers, provide schematic repair recommendations, and provide a rough order of magnitude build-back cost based on conditions observed and anticipated mitigation efforts, the extent of which will be provided to Rimkus at a later date. The evaluation included a site visit which was performed on October 24, 2022, by Craig Williams, P.E., Senior Consultant. A **Report of Findings** was issued on November 15, 2022. Subsequent to issuing that report, Rimkus was requested to revisit the site with access provided to the interior of the building and confirm or modify the previous repair recommendations based on any new information gathered during the supplemental site visit. Mr. Fareed Asgar, Associate with Rimkus, performed a supplemental inspection on March 9, 2023. This supplemental report was prepared by Craig A. Williams, P.E. Senior Consultant.

The scope of services under which the structural and roof assessment was completed was visual and not intended to be destructive to the property to gain access to hidden conditions. We did not perform any destructive testing or uncover or expose any system members. We have documented the type and extent of visually apparent defects in the structural systems to perform the assessment.

Conclusions

We reaffirm conclusions 1, 2 and 5 from the original Report of Findings as restated below for convenience.

1. The following damage was observed at the time of inspection:
 - I. A section of the metal decking on the roof had been removed.
 - II. Metal wall paneling had been damaged at numerous locations along the top edge.
2. The building is **NOT SAFE** for occupancy until repairs are completed.
5. Estimated build-back costs will be provided in a supplemental report and will be based on information provided by others documenting the scope of the mitigation efforts.

Conclusions 3 and 4 have been modified as stated below based on new information gathered during our supplemental site visit date March 9, 2023:

3. The following structural repairs are recommended:
 - I. Remove and replace the metal roof decking and wall panels as needed.
 - II. Remove and replace the purlins supporting the roof panels.
4. The estimated cost of structural repairs is \$166,800.

Discussion

General Building Description

The building was a pre-engineered metal building with exterior concrete masonry units (CMU) walls (**Figure 1 and Photograph 1**). The roof consisted of steel purlins and metal decking.



Figure 1 - Aerial view of the building (reference Google Maps).

Observations

Photographs of typical (representative) observed conditions and damage are contained in **Photographs**. These photographs, along with the following narrative, are considered sufficient to describe the structural condition of the building at the time of our supplemental site visit. However, the photographs are not intended to show all conditions and/or damage that may exist.

1. Metal roof panels were missing from approximately 67-percent of the building and the purlins were at the displaced panels were buckled (**Photograph 1**).
2. There was no visible damage to the masonry wall on the north side of the building (**Photograph 2**).
3. There was no visible damage to the metal frames supporting roof purlins and wall girts (**Photograph 3**).
4. Non-load bearing interior walls were damaged (**Photograph 4**).

In addition to the damage to the roof and wall panels noted during our site visit on October 24, 2022, the purlins supporting the roof were noted to be buckled in multiple locations. Therefore it was concluded that full replacement of the purlins would be required. The lack of damage to the building frames and masonry walls indicated that no repairs were required to these elements. The interior, non-load bearing walls were also damaged and while not structural damage, will require repairs or replacement.

Photographs taken during our inspection, including photographs that were not included in this report, were retained in our files and are available to you upon request.

This report was prepared for the exclusive use of the Florida League of Cities and was not intended for any other purpose. Our report was based on the information available to us at this time. Should additional information become available, we reserve the right to determine the impact, if any, the new information may have on our opinions and conclusions and to revise our opinions and conclusions if necessary and warranted. This report was reviewed by Marc Winters, Director of Structural Engineering.

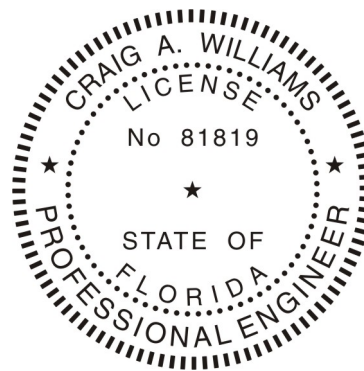
Thank you for allowing us to provide this service. If you have any questions or need additional assistance, please call.

Sincerely,
Rimkus

Craig Williams

Digitally signed by: Craig Williams
DN: CN = Craig Williams C = US
O = North Carolina
Date: 2023.04.07 14:35:10 -05'00'

Craig A. Williams, P.E.
Engineering Number 81819
Senior Consultant



This item has been digitally signed and sealed by Craig A. Williams, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Attachments: Photographs, Curriculum Vitae

Photographs

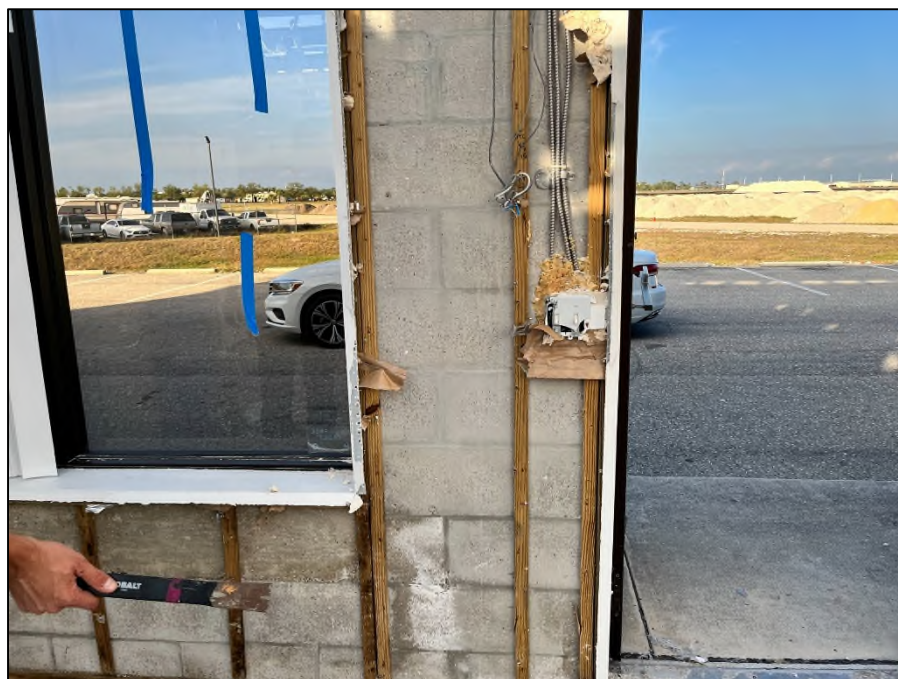
Photograph 1

Metal roof panels were missing from approximately 67-percent of the building and the purlins were at the displaced panels were buckled.



Photograph 2

There was no visible damage to the masonry wall on the north side of the building.



Photograph 3

Str There was no visible damage to the metal frames supporting roof purlins and wall girts



Curriculum Vitae





Craig A. Williams, P.E.

Structural Engineer, Sr.
Structural Engineering Services
AEC Services Group

5900 Harris Technology Boulevard, Suite P
Charlotte, NC 28269



(704) 962-1238

cawillia@rimkus.com

Background

Mr. Williams earned his B.S. degree in Civil Engineering from the University of North Carolina at Charlotte. He is a registered professional engineer with over 15 years of structural engineering experience and specializes in the design and evaluation of residential and commercial properties.

Mr. Williams' engineering expertise extends to single- and multi-family residences, prefabricated metal building foundations, modular and mobile home foundations, commercial buildings, bridges, and other structures. He is skilled in identifying, diagnosing, and providing remediation plans for a variety of structural defects in residential, commercial, and industrial properties. He has designed with building construction materials of timber, steel, reinforced masonry, and concrete (reinforced and prestressed) to achieve proper gravity and lateral-resisting elements for wind and seismic loads based on the various model building codes.

At Rimkus, Mr. Williams' responsibilities include structural and construction evaluations, construction document and code compliance reviews, and water intrusion investigations. In addition, he evaluates cases focusing on construction vibration, roof and exterior wall cladding, and swimming pools.

Professional Engagements

• Engineering Design/Analysis

- Residential/Light Commercial – Charlotte, NC (2000-2008), Provided structural designs and calculations for numerous residential and light commercial projects.
- Manufactured Homes – Charlotte, NC (2000-2008), Designed FHA/HUD compliant foundations.
- Metal Buildings – Charlotte, NC (2000-2008), Designed foundations for prefabricated metal buildings for compliance with local codes and conditions.

• Engineering Inspections

- Structural Inspections – North Carolina (2001-2008), Inspected standing structures during construction for code compliance and adherence to design documents.
- Real Estate Transfers – North Carolina (2001-2008), Inspected residences prior to real estate transfers for structural defects and provided repair recommendations for issues identified.



- Basements – North Carolina (2001-2008), Verified installation of reinforcing bars in concrete basement walls prior to placement of concrete.
- **Transportation**
 - US-21 Bridge – Rock Hill, SC (2009-2011), Project engineer responsible for performing and checking structural calculations of bridge crossing over the Catawba River. Reviewed shop drawings, wrote structural specifications, and performed quality assurance/quality control.
 - Railroad Bridge – Clemson, SC (2009-2011), Project engineer responsible for performing and checking structural calculations of bridge over SC-133. Reviewed shop drawings, wrote structural specifications, and performed quality assurance/quality control.
 - New US-17 Bridge – Mount Pleasant, SC (2009-2011), Project engineer responsible for performing and checking structural calculations of a new bridge for a grade separation for US-17 (Johnnie Dodds Boulevard) over Bowman Road. Reviewed shop drawings, wrote structural specifications, and performed quality assurance/quality control.

Forensic Engagements

- **Claims Investigations**
 - Inspected site conditions related to reported damage to a structure and determine the root cause of the damage.
 - Inspected structures damaged by known causes (fire, tree impact, vehicle impact, etc.) to determine the limits of the damage to structures from the event and if the structure was repairable and provide a conceptual scope of repairs.
- **Construction Defect Reports**
 - Investigated failures in the materials or installation of the materials that resulted in damage to the structure.
- **Roof and Exterior Wall Cladding Evaluations**
 - Inspected exterior finishes for damage and determine the cause of the damage.
- **Construction Vibration**
 - Inspected structures reportedly damaged by ground vibrations from nearby construction activity. Determined if reported damage was consistent with the equipment used at the construction site and distance between the construction site and the reportedly damaged structure.
- **Swimming Pool Assessments**
 - Inspected damaged swimming pools and surrounding patios to determine the cause of the reported damage.

Professional Experience

- **Rimkus** **2011 – Present**
 - Structural Engineer, Sr.
Responsible for structural and construction evaluations, construction document and code compliance reviews, and water intrusion investigations. Additional responsibilities include evaluations of construction vibration, roof and exterior wall cladding, swimming pools, slip/trip/fall incidents, and falls from high elevations.

- **Triplett-King & Associates, Inc.**

2009 – 2011

- Project Engineer

Responsible for performing and checking structural calculations for bridge design projects including prestressed concrete and steel girders, pile foundations, bent caps, and columns. Significant projects include the US-21 bridge over the Catawba River in Rock Hill, SC, a railroad bridge over SC-133 in Clemson, SC, a new bridge for a grade separation for US-17 (Johnnie Dodds Boulevard) over Bowman Road in Mount Pleasant, SC, and various bridge projects in Charleston, SC, Kershaw County, SC, and York County, SC. Additional responsibilities included reviewing shop drawings, residential inspections, writing structural specifications, and quality assurance/quality control.

- **Whitley Engineering, Inc.**

2001 – 2008

- Structural Engineer

Responsible for performing site visits and preparing reports concerning structural issues on residential and commercial projects. Report preparation included performing any necessary calculations, researching applicable codes, determining cause of structural issues, and recommending future actions to be taken. Additional responsibilities included structural reviews of residential and commercial plans, writing structural specifications, and training interns and assistants.

- **Verna Engineering, PC**

2000 – 2001

- Engineering Intern

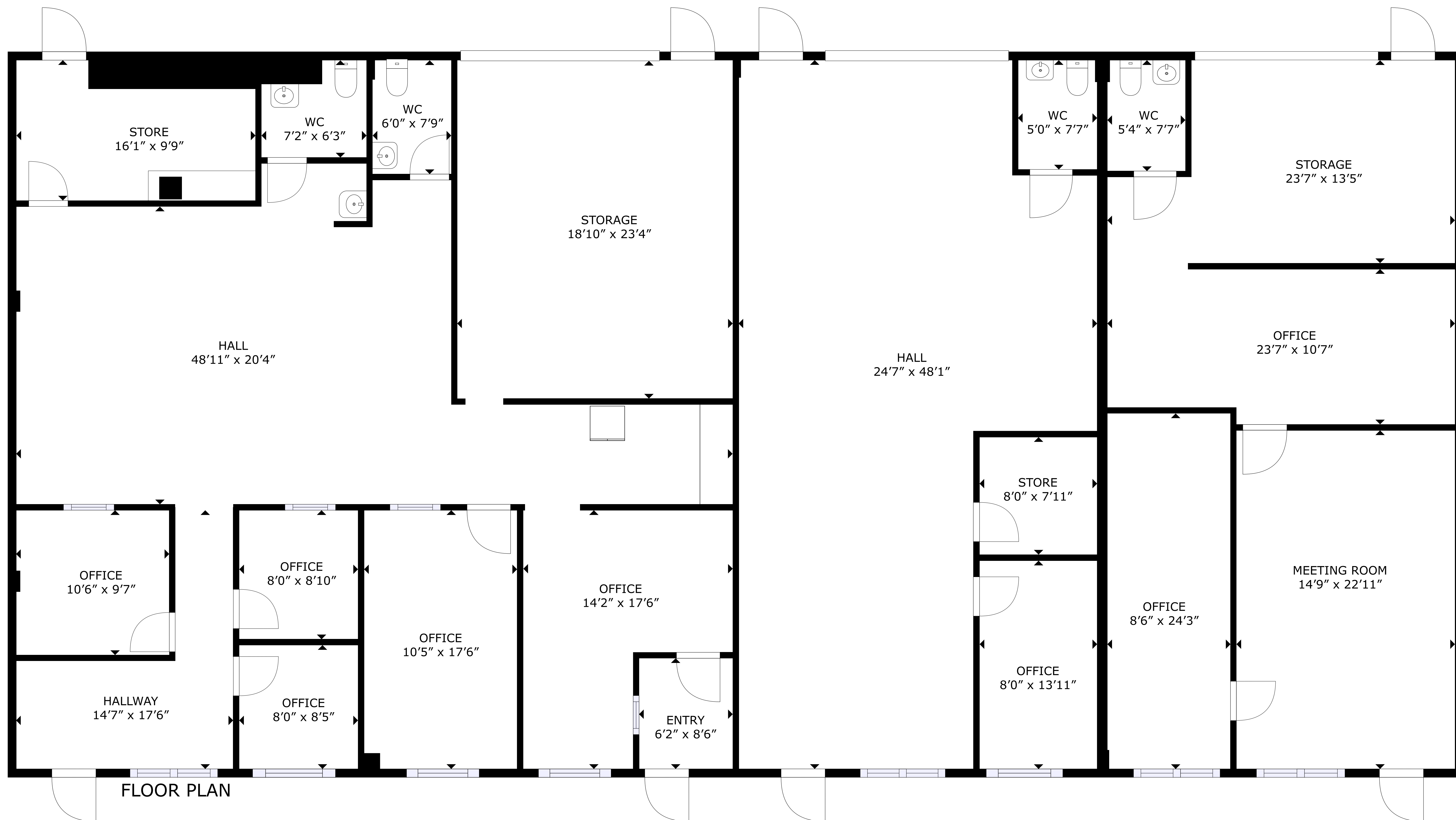
Responsible for performing structural designs of residential properties in the Charlotte, NC, area. Additional tasks included light industrial designs, roadway bridge designs, and structural inspections.

Education and Certifications

- **Civil Engineering, B.S.:** University of North Carolina at Charlotte (2000)
- **Licensed Professional Engineer:** Florida, Georgia, Iowa, Missouri, North Carolina, South Carolina, Texas, Virginia, and West Virginia
- **National Council of Examiners for Engineering and Surveying:** Member

Continuing Education

- **Annual coursework to maintain engineering licenses.**



GROSS INTERNAL AREA
FLOOR PLAN: 4,644 sq. ft
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.